

SUMMERSET AT BRENTWOOD II ASSOCIATION

RULE 6.1 ARCHITECTURAL RULES

PURPOSE

Architectural Rules set forth restrictions for exterior changes to a residence to ensure improvements comply with Architectural Standards established by the Association and as administered by the Architectural Committee (“Committee”) and conform to the overall design scheme of the community to maintain property values.

1. POLICY

The Association guides and oversees exterior Owner improvements on a Lot in accordance with the Governing Documents and Architectural Rules.

- A. It is an Owner’s sole responsibility to comply with the governing documents, governmental laws, regulations, ordinances including building permits, codes and standards, safety requirements, inspections, and approvals.
- B. Improvements (as defined in Section 2) of any kind must not be made until Owners submit an Application for Architectural Improvements and it is approved in writing by the Committee.
- C. An Application for Architectural Improvements is not required for maintenance items or seasonal decorations (as defined in Section 2).
- D. The Board of Directors (“Board”) may assess fines, require remedy or removal at the Owner’s expense, if a violation has occurred.
- E. Paint Book updates will be done in consultation with a paint design professional to determine the impact of the suggested changes on the whole community. Proposed updates will follow the same approval procedures as Rule changes.
- F. Owners are not required to complete an Application for Architectural Improvements for exterior ornamentation on street frontage property that measures five (5) feet in height or less or number less than ten (10) except for duets where ornaments are limited to five (5).
- G. Owners are required to complete an Application for Architectural Improvements for exterior ornamentation on street frontage property that measures five (5) feet in height or more or number more than ten (10) except for duets where ornaments are limited to five (5).

2. DEFINITIONS

Exterior Ornamentation—nonpermanent (movable) items.

Improvements - exterior modifications, changes or alterations including everything constructed, installed, removed, painted, or planted on a Lot. This includes, without limitation, buildings, fences, walls, paving, pipes, wires, grading, landscaping, hardscaping, and any other work determined by the Association to be an Owner modification. Except for spot/touch-up painting, any exterior paint work, including repainting the same color, is considered an improvement.

Maintenance—keeping property in good condition and preserving it from failure or deterioration by making repairs or correcting problems. (Refer to Rule 6.6 Property Maintenance Rules.)

Paint Book—contains approved exterior color schemes, approved fence and perimeter wall colors, and is part of the Architectural Rules.

Seasonal Decorations—temporary decorations for holidays.

3. Architectural Improvements Packet

The Architectural Improvements packet includes the following forms: 1. Architectural Improvements Application, 2. Architectural Notice of Completion, and 3. Summary of Requirements for Architectural Improvements Requests. The packet is available from the Office Administrator and on the Summerset II website.

4. Architectural Committee

The Architectural Committee (as established by the CC&Rs and Association Rule 1.10) shall review the submitted application in good faith and strictly in accordance with the written Architectural Standards (Exhibit A) and as set forth in the Governing Documents.

5. General Liability Statement

In the event an improvement or circumstance is not defined or adequately covered in the Governing Documents, interpretation will become a matter of judgment on the part of the Board. The Committee and/or the Board, past or present Owners, acting in good faith, shall not be liable to any Owner or contractor for damages, loss or prejudice suffered or claimed as the result of approval or disapproval of any proposed improvements, performance of the work or whether the contents of the Governing Documents are correct.

This Rule shall be effective on the date the Board of Directors approves it.

Date approved by the Board of Directors August 13, 2025

Director of Operations Signature Julia J. Warkusch Date 9/10/25

**SUMMERSET AT BRENTWOOD II ASSOCIATION
RULE 6.1 ARCHITECTURAL RULES
EXHIBIT A -- ARCHITECTURAL STANDARDS**

1. Drawings, Specifications or Sketches

For all improvements to an Owner's property such as landscaping, hardscaping, or construction, the work shall be based on plans and drawings to approximate scale and specifications. Drawings shall be included with the application. For extensive changes, a plot plan must be submitted showing contours, natural features, setbacks, drainage, driveway and house location. Professional blueprints may be required.

2. Building Type

Each Residence shall retain the characteristics of the original design, including no less than the interior number of square feet as originally constructed exclusive of porches, patios and garages. All Residences shall remain single story.

3. Setbacks

No structure can be constructed or installed within the setbacks prescribed by the City of Brentwood.

4. Exterior Building and Roof Materials

Additions or modifications to the Residence shall have the same characteristics and appearances as originally constructed regarding stucco, trim, stone or brick and concrete roof tiles.

5. Exterior Paint Colors

All exterior paint color schemes including stucco walls, concrete roof tiles, ~~wood~~ trim, stone masonry, shutters, front doors, garage doors, fencing, perimeter walls, etc., shall be submitted to the Committee for review. Only exterior color schemes listed in the Paint Book will be approved by the Committee.

6. Driveways and Walks

Driveways must be repaired or replaced with concrete. Installation of walkways on a property line requires written approval of owners on both sides of the property line. Use of paint/stain on any concrete surface visible from the street is not permitted. Driveways, entry walks, and sidewalks shall be kept clear of objects, that would interfere with accessibility.

7. Fencing/Perimeter Walls

- A. Fencing shall include vertical pickets finished with fleur-de-lis finial or spear-pointed finials on every other picket.
- B. Front porch fencing may be finished with a flat top rail or plain square ends.
- C. Fence height shall not exceed five (5) feet from ground level.
- D. Fencing shall not be installed any closer to the curb or sidewalk than two (2) feet.
- E. Fencing shall not be installed any closer to the front face of the house than six (6) feet. Fencing may not extend beyond the utility meters.
- F. Fencing on a property line requires written approval of Owners on both sides of the property line.
- G. Side yard fencing must be at least thirty-six inches (36") from an A/C unit (or other permanent fixture) on both the owner's and neighbor's lots
- H. A barrier fence to prevent small animals from escaping through the wrought iron fence (no taller than twenty-four (24) inches) is allowed.
- I. Fencing to conceal the air conditioner and garbage/recycling carts may be replaced with the same or similar fencing.
- J. Fence material between Summerset II Lots must be black wrought iron.
- K. Perimeter walls facing owners' lots may only be painted Navajo White or color-matched to Navajo White.

- L. Perimeter wood fencing may be sealed with wood type sealant/preservative or stained a Cedar/natural wood tone.

8. Drainage

No Owner shall impede, alter, or otherwise interfere with the drainage patterns on a Lot or adjacent Lots, which changes the original Lot or Common Area. Surface water and water from the roof shall flow into the system of underground drainage pipes to the street.

9. Exterior Wiring and Piping

No lines, wires or other devices for transmission of electric current and power, or piping for water lines, shall be placed or maintained anywhere in or on a Lot unless contained in underground conduits or within approved structures.

The following are excluded from this provision:

- A. Temporary arrangements made during construction
- B. Antenna and satellite dish system installations (refer to Rule 6.3 for specific requirements)
- C. Solar energy system installations (refer to Rule 6.4 for specific requirements)

10. Exterior Lighting

- A. Mercury/sodium vapor lights are not allowed.
- B. Landscaping and driveway lights of low height and low intensity are allowed provided they are not placed in an area that would create a nuisance or hazard.

11. Street Trees

See Rule 6.2 for the street trees rules.

12. Street Frontage Property

At least 25% of street frontage property, excluding the driveway, front walkway, and street sidewalk, shall include live permanent greenery plants no less than one gallon in size, synthetic turf, or a grass lawn. For safety reasons, any plant material that unreasonably blocks or obscures pedestrian or driver views must be trimmed or will be subject to trimming or removal by the Association.

13. Prohibited Plants

Any plants that are toxic, hazardous, or root-invasive must not be used in landscaping on a Lot.

14. Sheds and Doghouses

Sheds, doghouses, or any similar structures are prohibited.

16. Privacy Partitions

Side/Back Yards:

- May only be installed parallel to and between the two side faces of the residence.
- Must not exceed the height of seven (7) feet.
- Must be constructed in an "open style" with at least 50% air such as lattice, louver, posts, or appropriate wood or metal.
- Shall be natural, white, or match the Residence main body color.
- Must be installed within ten (10) feet of the rear face of the residence.

17. Golf Ball Safety Barriers

- A. Barriers erected for safety purposes shall be mesh netting, transparent solid acrylic, plastic, or shatterproof glass panels.
- B. The length and height will be determined by safety requirements as necessary to protect the Residents.

18. Patio Covers

Covers over a patio, or in any part of the yard, either attached to the Residence or freestanding, shall be subject to the following:

- A. Covers shall be allowed only in the backyard
- B. Any part of an open trellis type cover shall be no closer than five (5) feet to the rear property line.
- C. A cover must not extend beyond the sides of the Residence and must not be any higher than the level of the residence's rain gutter.
- D. All covers, either open or solid, shall be compatible with the architecture and roof pitch and the cover must be natural, white, or compatible with the main body color of the Residence.
- E. No enclosed patio structures shall be permitted.

19. Exterior Door and Window Coverings

Exterior security/screen doors and awnings must be compatible with the approved color scheme of the residence.

20. Common Area Utility and Facility Access

Improvements that restrict access to and/or interfere with any required maintenance and/or repair of any common area utilities or other facilities are not allowed.

This Rule shall be effective on the date the Board of Directors approves it.

Date approved by the Board of Directors August 13, 2025
Director of Operations Julia J. Wantuck Date 9/10/25

SUMMERSET AT BRENTWOOD II

RULE 6.2 STREET TREES

1. PURPOSE

This Rule sets the policies for removing, adding, or replacing street trees to maintain property values, beautify the community, and create aesthetic pleasure. For tree maintenance, refer to Rule 6.6 Property Maintenance.

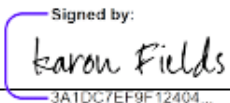
2. POLICY

- A. Prior to any street tree addition, removal, or replacement Owners must submit an Application for Architectural Improvements and have it approved in writing by the Architectural Committee ("Committee").
- B. If the Committee denies the application, the Owner may file an appeal for a variance with the Board of Directors.
- C. If an existing tree is removed, it should be replaced.
- D. Additions or replacements must be selected from Rule 6.2 Exhibit A TREE LIST.
- E. The maximum setback from all curbs and adjacent sidewalks is ten (10) feet.
- F. The minimum setback from all curbs, sidewalks, driveways, residence foundations, and property lines is three (3) feet.
- G. The minimum setback from all streetlamps, street signs, and traffic signs is ten (10) feet.
- H. The minimum spacing from any other existing street tree is twenty (20) feet.
- I. Upon tree removal, the stump and visible roots must also be removed.
- J. Replacement street trees must be at least a fifteen (15)-gallon size.

3. DEFINITIONS

Street Tree – Any tree planted within ten (10) feet of a curb or adjacent sidewalk.

This Rule 6.2 STREET TREES shall be effective on the date of adoption, shall supersede any previous Rule 6.2 STREET TREES, and shall remain in effect until modified by the Board of Directors of the Association.

Secretary signature  Signed by: Karon Fields Date 6/10/2026
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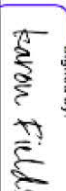
SUMMERSET AT BRENTWOOD II
RULE 6.2 STREET TREES
EXHIBIT A STREET TREE LIST

BOTANICAL NAME	COMMON NAME	Height	Growth Rate Fast – Slow - Moderate	Water Use - Drought Tolerant
1. Acer Buergerianum	Trident Maple	< 35	Mod	Mod
2. Acer Palmatum	Japanese Maple	<20	Fast	Mod
3. Arbutus Marina	Strawberry Tree	<20	Fast	Low
4. Cercis Canadensis	Eastern Redbud	<20	Slow-Mod	Low
5. Chitalpa Tashkentensis	Chitalpa	< 35	Mod	Mod
6. Cycas revoluta	Sago Palm (Cycad)	<12	Slow	Mod
7. Eriobotrya Deflexa	Bronze Loquat	< 20	Slow	Low
8. Koelreuteria Paniculata	Golden Rain Tree	< 40	Fast	Mod
9. Lagerstroemia Indica	Grape Myrtle	<25	Mod	Low
10. Laurus Noblis	Bay Laurel	< 20	Fast	Mod
11. Morella Californica	California Wax Myrtle	< 35	Fast	Low
12. Olea Europa	Olive Tree Varietal: Wilsonii-Swan Hill Fruitless	< 30	Fast	Mod
13. Phoenix roebelenii	Pygmy Date Palm (male)	<10	Slow-Dod	Mod
14. Pistachia Chinensis	Chinese Pistache Varietal: Keith Davey – Male	< 35	Mod	Mod
15. Prunus Bileana	Flowering Plum Varietal: Cherry Plum	10-25'	Mod	Low
16. Prunus ilicifolia	Holly Leafed Cherry	<35	Fast	Low
17. Prunus Yedoensis	Flowering Cherry Varietal: Yoshino Cherry	30'	Mod	Low
18. Quercus Berberidifolia	California Scrub Oak	12'-15'	Slow	Low

Trees were selected based on recommendations of local nursery professionals, the City of Brentwood Street Tree list, and nuisance characteristics. Trees in **BOLD** are California natives and are beneficial in attracting butterflies and bees.

This Rule 6.2 Street Trees Exhibit A Street Tree List shall be effective on the date of adoption, May 13, 2026, shall supersede any previous Rule 6.2 Street Tree List, and shall remain in effect until modified by the Board of Directors of the Association.

Secretary signature _____

Signed by:

 Karen Fields

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Date 6/3/2026

SUMMERSET AT BRENTWOOD II

RULE 6.3 ANTENNA AND SATELLITE DISH SYSTEMS

PURPOSE

This Rule sets forth the policies for the installation of an antenna or satellite dish systems ("system").

POLICY

1. Owners, (or Owners on behalf of tenants/other residents), must submit an Architectural Improvement Application to the Architectural Committee ("Committee") for approval prior to the installation or modification of any system. Owners are solely responsible for compliance with Rule 6.3.
2. Visibility from the street of any components should be minimized. The optimum location is on the rear of the residence behind and below the roof ridge. Installation forward and/or above the roof ridge should be avoided.
3. Wiring or cabling must be installed to be minimally visible from the street.
4. Cable/wiring should be routed through the garage. If installed horizontally behind the eaves or above the gutter, it must be anchored securely to prevent future drooping.
 - a. If visible from the street, it must be painted to blend into the background to which it is mounted.
 - b. If the increased costs to meet the above restrictions are greater than \$500 or 20% of the total project cost (whichever is greater) the Committee may approve alternate plans that minimize the street visibility of the Antenna or Dish system.
5. Only those Antennas or Dishes with a diameter or diagonal measurement of less than one (1) meter (39.37 inches) are permitted.
6. It is an Owner's responsibility to comply with the governing documents, governmental laws, regulations, ordinances, codes and standards, safety requirements, inspections, and approvals, and to obtain any required certification, license, or building permits.
7. Owners must provide a copy of this Rule to the service provider prior to the start of installation.
8. The Owner must have all parts of the previous system removed prior to submitting the written Notice of Completion to the Committee.

This Rule 6.3 Antenna and Satellite Dish Systems shall be effective on the date of adoption, shall supersede any previous Rule 6.3 Antenna and Satellite Dish Systems, and shall remain in effect until modified by the Board of Directors of the Association.

I, Karon Fields, Secretary of the Summerset at Brentwood II Board of Directors, certify that this Rule was duly adopted by the Board of Directors and came into effect on November 12, 2025.

Secretary signature Karon Fields Date Nov 17, 2025

SUMMERSET AT BRENTWOOD II

RULE 6.4 SOLAR ENERGY SYSTEM

PURPOSE

This Rule sets forth the policies for the installation of a solar energy system.

POLICY

1. Owners, (or Owners on behalf of tenants/other residents), must submit an Architectural Improvement Application to the Architectural Committee ("Committee") for approval prior to the installation or modification of any solar energy system. Owners are solely responsible for compliance with this Rule 6.4.
2. It is the Owner's responsibility to comply with the governing documents, governmental laws, regulations, ordinances, codes and standards, safety requirements, inspections, and approvals, and to obtain any required certification, license, or building permits.
3. The Committee must approve or deny the owner's application within 45 days after receiving a completed application.
4. The solar energy system must be installed in the least obtrusive location possible that does not unreasonably delay installation, increase the cost of its installation by more than \$1,000, or decrease its efficiency by more than 10%.
5. Where feasible, equipment should be mounted with sufficient setbacks from the front face of the residence to minimize its visibility from the street. Avoid installing forward of the gas meter.
6. To the maximum extent possible, wiring, conduit, cabling, or equipment must be installed to be minimally visible from the street.
7. Avoid vertical or diagonal wiring, conduit, or cabling runs across the roof.
8. Avoid multiple wiring, conduit, or cable runs on the side of the residence.
9. All conduit, piping, or wiring attached as a permanent installation for the system must be painted to blend into the background to which it is mounted or placed.
10. Owners must provide a copy of this Rule to the service provider prior to installation.

This Rule 6.4 Solar Energy Systems shall be effective on the date of adoption, shall supersede any previous Rule 6.4 Solar Energy Systems, and shall remain in effect until modified by the Board of Directors of the Association.

I, Karon Fields, Secretary of the Summerset at Brentwood II Board of Directors, certify that this Rule was duly adopted by the Board of Directors and came into effect on November 12, 2025.

Secretary signature Karon Fields Date 12/4/25

SUMMERSET AT BRENTWOOD II ASSOCIATION

RULE 6.5 ARTIFICIAL TURF

1. PURPOSE

This Rule sets forth the policies for the installation of artificial turf ("turf").

2. POLICY

- A. Owners, (or Owners on behalf of tenants/other residents), must submit an Architectural Improvement Application to the Architectural Committee ("Committee") for approval at least 30 days prior to the installation or modification of any artificial turf. Owners are solely responsible for compliance with this Rule.
- B. It is the Owner's responsibility to comply with the governing documents, governmental laws, regulations, ordinances, codes and standards, safety requirements, inspections, and approvals, and to obtain any required certification, license, or building permits.
- C. The Committee must approve or deny the owner's application within 45 days after receiving a completed application.
- D. Street Frontage Turf Provisions and Specifications—must be submitted with application.
 - a. A sample of the brand of artificial grass to be installed, ~~along with~~ the manufacture's product description (cut sheet or specifications), and product warranty.
 - b. Warranties should provide a minimum of fifteen (15) years of protection against brittleness of material and color fading.
 - c. Must be a blend of natural grass colors.
 - d. Turf backing material must be porous/permeable.
 - e. The blade length should be approximately one and one-half inch (1.5") to two inches (2").
 - f. Density for purely ornamental areas may be 15,000 stitches per square meter. Density for other areas should be 15,000-18,000 stitches per square meter.
 - g. Product that uses an "in fill" or "back fill" type of thatch is recommended. Use of sand/sand/rubber is prohibited.
 - h. The nap for front and visible side yard installations should face the street.
 - i. Utility boxes should be raised prior to the installation of the substrate.
 - j. A minimum of four inches (4") of substrate must be specified on the application.
 - i. Non-porous materials (cement, concrete, etc.) are prohibited.
 - ii. One hundred percent (100%) crushed granite or shale, one-fourth ("1/4") by fines (bits of rock smaller than 1/4") is preferred.
 - iii. One hundred percent (100%) decomposed granite is permitted.
 - iv. Road base combined with decomposed granite is permitted.
- E. Substrate grading: Any change of slope or grade must not impede, alter, or otherwise interfere with the drainage pattern on a lot or adjacent lots.
- F. Proposals for border material between properties must be submitted with Application. Polyethylene bender board in grass tones (greens, browns, and gray's family) is recommended. Stone, brick, or precast concrete are acceptable. Wood is not permitted.
- G. Construction waste or excavated materials must be disposed of properly.
- H. **Owners must provide a copy of this Rule to the service provider prior to installation.**

This Rule 6.5 Artificial Turf shall be effective on the date of adoption, shall supersede any previous Rule 6.5 Artificial Turf, and shall remain in effect until modified by the Board of Directors of the Association.

Secretary signature
Signed by: Karon Fields
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Date 7/24/2026

SUMMERSET AT BRENTWOOD II

RULE 6.6 PROPERTY MAINTENANCE

PURPOSE

This Rule establishes Policy and Standards for property maintenance and summarizes the information in the Articles of the Covenants, Conditions, and Restrictions (“CC&Rs”) (as noted). (Refer to CC&Rs Article 10 Maintenance of Property for complete information.)

POLICY

- A. Owners are responsible for the maintenance of their Lot and all improvements thereon (including but not limited to awnings, exterior ornamentation, seasonal decorations, signs, flags, banners, etc.) and must keep the same in a clean, sanitary, workable, and attractive condition. (CC&Rs 10.2.1) This includes the Owner’s side of any perimeter wall and/or fencing.
- B. Owners of the adjacent Lots share the responsibility for maintenance and painting of Party Fencing, Party Roof Ridges, and Party Walls. (CC&Rs 11.2) Maintenance of shared walkways is the responsibility of Owners of both Lots.
- C. Fencing between a Lot and the golf course is the responsibility of the Owner of the Lot (CC&Rs 10.2.6).
- D. Owners are responsible for maintaining, repairing, and replacing the lock on their mailbox. (CC&Rs 10.2.9)
- E. All painting work (except for touch-up/spot painting) requires Architectural Committee approval before work begins. (Refer to Rule 6.1)
- F. Lots shall be maintained consistently with the Standards (as defined in Section 3 of this Rule).
- G. The Board of Directors (“Board”) shall have the discretion to determine if any maintenance, repair, or replacement that is the responsibility of an Owner is necessary to preserve the appearance and value of the property. (CC&Rs 10.5)
- H. The Board may assess fines, require remedy or removal at the Owner’s expense, if a violation has occurred. (CC&Rs 15.12)

DEFINITIONS

Maintenance – Keeping property in good condition and preserving it from failure or deterioration, including painting, caulking, cleaning, and minor non-structural upkeep. (CC&Rs 1.24)

Party Fencing – Fencing on the common boundary between two (2) or more Lots. (CC&Rs 1.30)

Perimeter Walls/Fencing – Walls and/or fencing placed on the property line between an Owner’s Lot and property owned by others outside the Association.

STANDARDS

- A. Landscaping must be maintained in a neat and orderly condition. This includes regular fertilization, irrigation, and pruning to promote healthy plant growth. (CC&Rs 1.24)
- B. Irrigation systems must be fully maintained to ensure the health and vitality of landscape materials and minimize overspray. (CC&Rs 10.2.7)
- C. All lawns must be neatly mowed, and trees and shrubs must be neatly trimmed.

- D. Landscape areas (including lawn, artificial turf, and areas with filler material, such as mulch or stone), must be kept free of weeds and debris and maintained to prevent bare spots. Filler may be replaced with like kind.
- E. Street trees must be trimmed to maintain a ten (10) foot clearance over sidewalks and a fifteen (15) foot clearance over streets. Trees must be pruned for streetlight and driveway clearance. Invasive roots must be cut and removed to prevent damage to sidewalks and streets. Remove leaves and tree debris promptly. Use insect control and fertilize as recommended.
- F. Any noticeable defects in artificial turf such as rips, seam separation, unevenness, creasing, lumpiness, etc. must be repaired to return the turf to its original appearance.
- G. Shrubs must not overhang the sidewalk and curb.
- H. For safety reasons, any plant material that unreasonably blocks or obscures the views of pedestrians or drivers must be trimmed or will be subject to trimming or removal by the Association.
- I. Diseased/dead plant material (including bushes, shrubs, and annual flowers in existing flower beds) must be removed and replaced. Refer to Rule 6.2 for removing or replacing street trees.
- J. Awnings must be kept in a clean and attractive condition and must be removed or replaced if excessively faded or damaged.
- K. The driveway on the Lot and the street in front of the Lot must be kept free of oil, grease, and stains. (CC&Rs 10.2.3) Driveways must be repaired with concrete.
- L. Street frontage gutters must be kept free of weeds and debris.
- M. Owners must regularly clear all storm drainage inlets situated upon or adjacent to their Lots and must maintain the capacity and flow. (CC&Rs 10.2.2)
- N. Any exterior wiring, conduit, or cabling must be maintained to be minimally visible from the street.

Lot Maintenance During Construction

- A. Excess dirt must be removed from the site as soon as possible. Dirt and mud in the street shall be removed each day by 7 p.m.
- B. The Lot must be kept clean and orderly. Trash and waste materials must be kept in containers and periodically removed from the site.

This Rule 6.6 Property Maintenance shall be effective on the date of adoption, shall supersede any previous Rule 6.6 Property Maintenance, and shall remain in effect until modified by the Board of Directors of the Association.

I, Karon Fields, Secretary of the Summerset at Brentwood II Board of Directors, certify that this Rule was duly adopted by the Board of Directors and came into effect on November 12, 2025.

Secretary signature Karon Fields Date 12/4/25